

FAIRVIEW AT NORTHGATE

MASTER PLAN

VALLEJO, CALIFORNIA

MAY 2019

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ADOPTED BY THE VALLEJO CITY COUNCIL ON: _____

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SECTION 1: INTRODUCTION

1.1 MIXED USE PLANNED DEVELOPMENT (MUPD)

Fairview at Northgate is a mixed use project with both a residential component and a commercial component. Currently the site is zoned CP (Pedestrian Shopping and Service) but it will be rezoned to Mixed Use Planned Development, to adhere to the recently updated General Plan.

Development standards have been established to provide a high quality of design and continuity throughout the Fairview at Northgate project. Design requirements such as street widths, building setbacks, architectural guidelines and landscape materials are included in the standards.

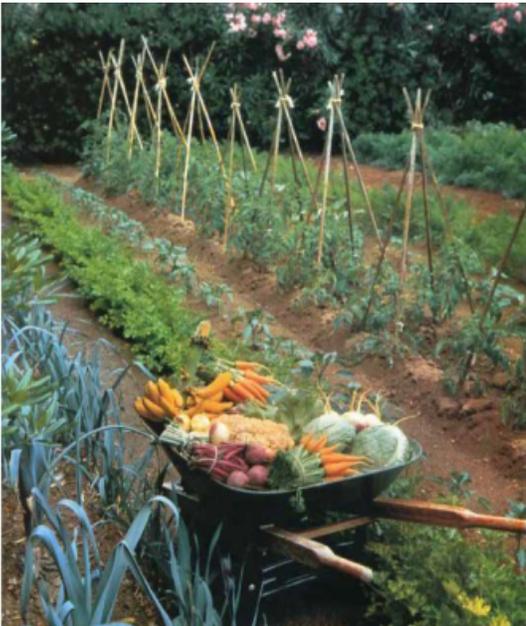
The development standards are broken down into eight sections. The first section introduces you to the project, the second section addresses the community wide roadway standards, the third section outlines the proposed utilities, the fourth section explains residential standards, the fifth section plans for commercial standards, the sixth section describes community wide landscape standards, the seventh section proposes community wide architecture standards, and the eighth section looks at Open Space requirements and the ninth section concludes the Master Plan.

All development within the Fairview at Northgate Master Plan is intended to conform to the development standards which are presented in this document.



1.2 PROJECT CONCEPT

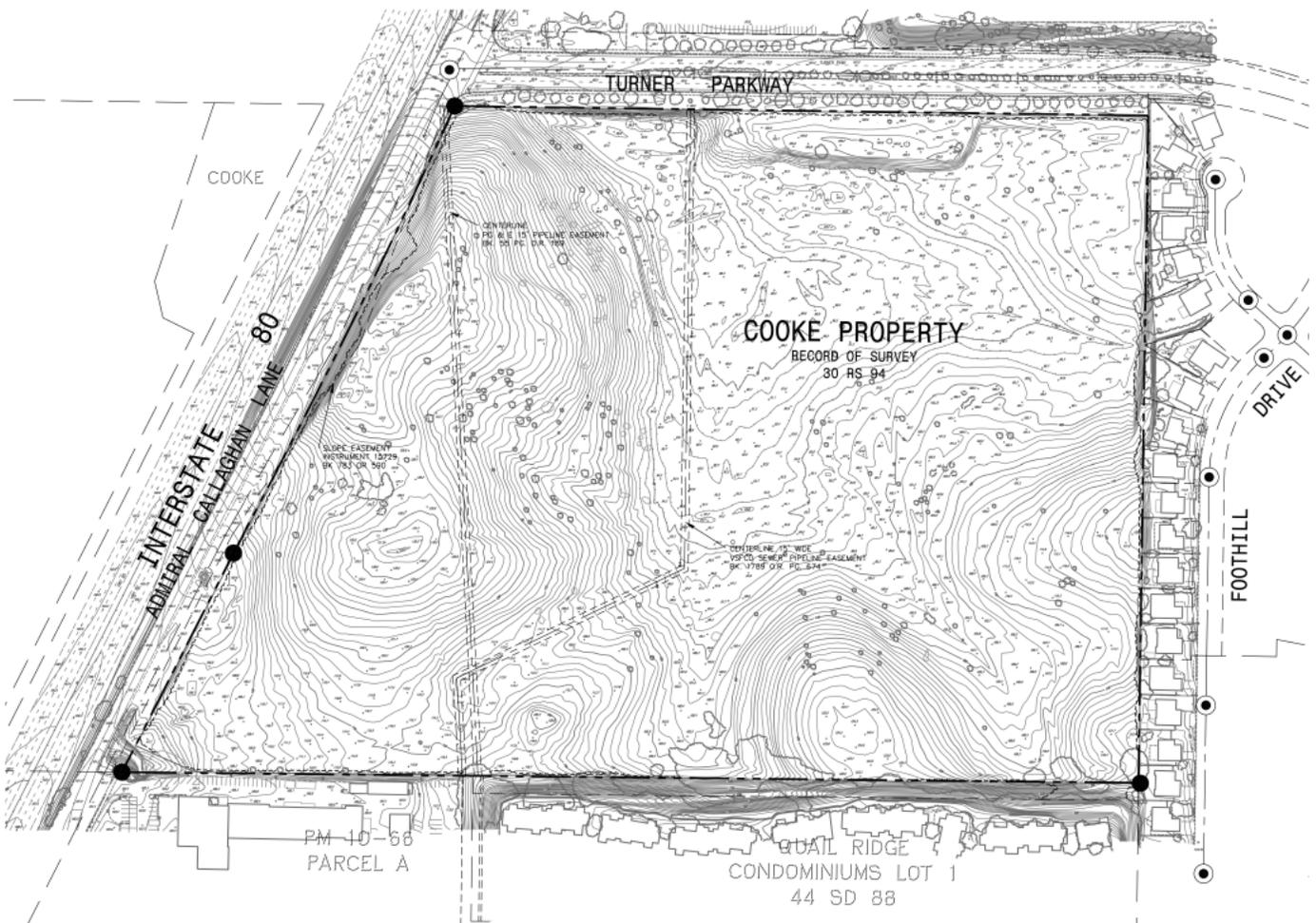
Fairview at Northgate is a Mixed Use community with a commercial side and a residential side separated by a linear Open Space. This community is walkable and connected by public streets. The overall concept of the residential portion in Fairview at Northgate is to create a micro agri-community theme with plant material taking cues from agriculture. There will be herb gardens and fruit trees that can be picked and enjoyed by the Fairview community. This theme will be evident in both the residential and commercial portions of the site. The central open space will be left in its natural state and can be visually enjoyed from the trail system that is adjacent to it. The commercial site will get its cues from historic California architecture. A plant list and a landscape theme has been created and is listed in Section 5 of these guidelines.



1.4 EXISTING CONDITIONS AND TOPOGRAPHY

Fairview at Northgate is a 51.3± Acre vacant land parcel with gentle rolling topography crossed by two easements, a sewer easement and a PG& E gas-line easement. The easements and the utilities within shall be relocated as needed for redevelopment. A low lying area with existing drainage can be found through the center of the site.

The project is currently zoned as Pedestrian Shopping and Service District in the Zoning Code and will be rezoned to Mixed Use Planned Development (MUPD). The General Plan 2040 calls the property out as Retail/ Entertainment and Mix of housing Types. The proposed project is compatible with the surrounding land uses as described in Section 1.5.



1.5 SURROUNDING LAND USES

The project site is located in a suburban and urban environment and is bordered by existing development. Surrounding land uses consists primarily of residential, commercial, open space, and park uses, and transportation corridors (I-80 and other roadways). Table 3-1: Surrounding Land Uses, below provides a brief description of the surrounding uses, land use designations in the Propel Vallejo General Plan 2040 (General Plan) and zoning designations in the Development Code.

1.5.1 Land Uses to the North

The approximately 130-acre Gateway Plaza Shopping Center is located north of Turner Parkway. The shopping center is partially bound by Admiral Callahan Lane on the west (and which traverses through the northwest corner of the shopping center); Turner Parkway on the south, which also borders the proposed project site to the north; and residential and office development to the east. The General Plan land use designation for this area is Retail/Entertainment (RE) and the zoning designation in the Development Code is Freeway Shopping and Service and Mixed Use Planned Development.

1.5.2 Land Uses to the South

Land uses to the south of the project site include automotive, commercial, and residential uses. A Honda Dealership is located on the southeast corner of Admiral Callaghan Lane at Rotary Way and is immediately to the southwest boundary of the project site. The Quail Ridge Condominiums and Sundance Apartment Homes are located to the east of the auto dealership and are immediately adjacent to the southern boundary of the project site. South of Rotary Way is Redwood Plaza neighborhood commercial center that includes a Safeway grocery store, Golden 1 Credit Union, Oil Changers, Fed Ex Office, Shell gas station and other small retail uses. A two-building office complex and a KinderCare facility are located east of Redwood Plaza along Rotary Way. The General Plan land use designation for this area is primarily Mix of Housing Types, Retail/Entertainment, and Business/limited Residential. The zoning designation in the Development Code is Pedestrian Shopping and Service and High Density Residential.

1.5.3 Land Uses to the East

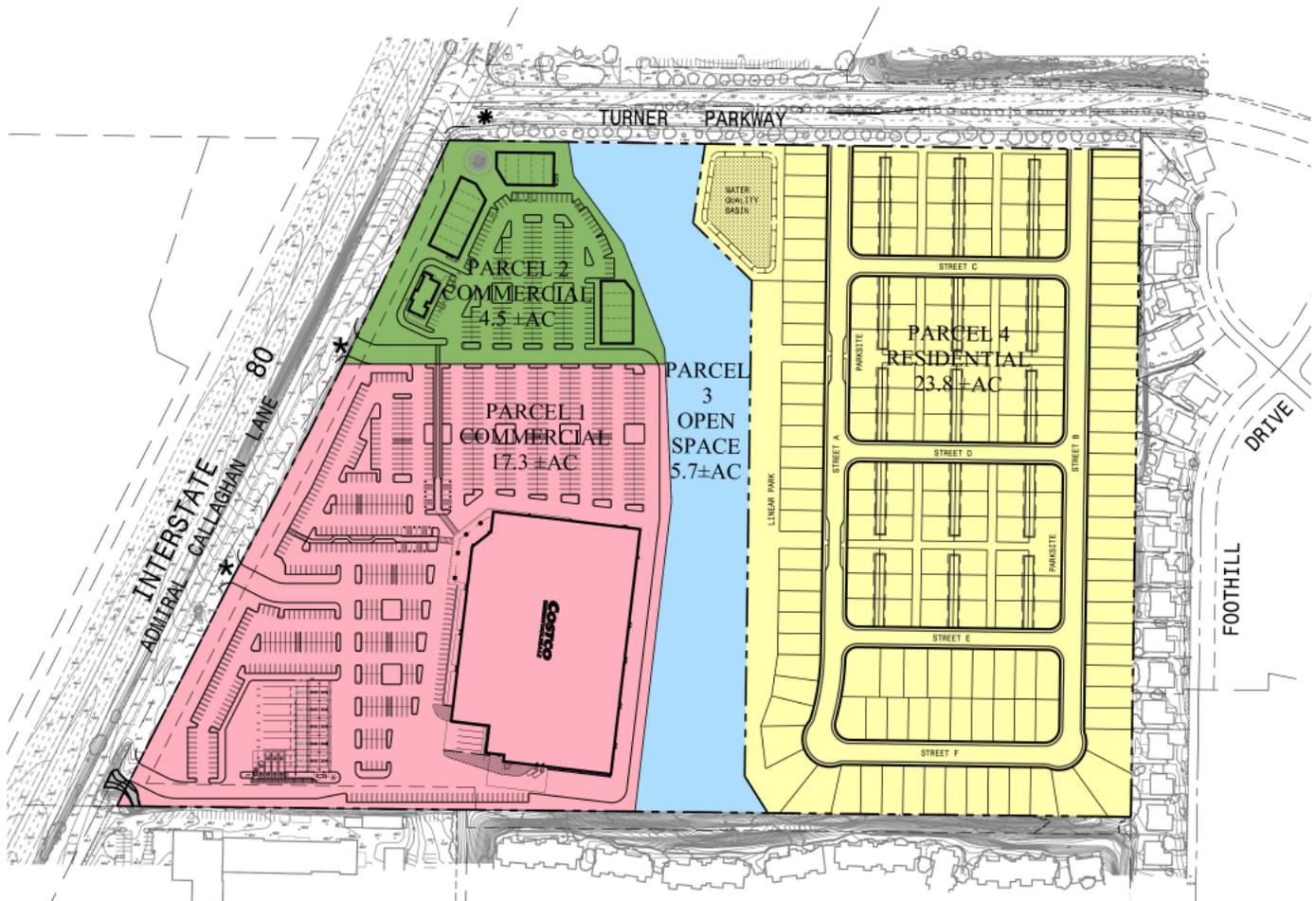
Single-family residences in Hunter Ranch are located east of the project site. Residences are on small lots ranging in size from approximately 0.15 to 0.25 acre. This area is accessed from Turner Parkway on the north, Redwood Parkway on the south, and Ascot Parkway on the east. The General Plan land use designation for this area is Primarily Single-family (R-SF) and the zoning designation in the Development Code is Low Density Residential and Mixed Use Planned Development.

1.5.4 Land Uses to the West

To the west of the proposed project site is Admiral Callaghan Lane, a two-lane undivided roadway. The road right-of-way includes an approximately 50-foot-wide area that is largely unvegetated and spans the length of the western project site boundary. To the west of Admiral Callaghan is I-80, and west of I-80 is a mix of uses including a mobile home park, single-family and multi-family residential uses, commercial uses, and the Solano County Fairgrounds. The General Plan Land use designation for this area is Business/Limited Residential (B/LR), Primarily Multi-Family (R-MF), and District Solano 360 (D-360) in the General Plan, and the zoning designation on the Development Code is Freeway Shopping & Service, High-Density Residential, Linear Commercial, and Public.

1.6 PARCELS IN SITEPLAN

Fairview at Northgate is broken down into four distinct parcels: a large commercial parcel (17.3± AC), a smaller commercial parcel (4.5± AC), an open space parcel (5.7± AC) and a residential parcel (23.8±AC). The residential parcel has a density of approximately 7.5 dwelling units per acre.



1.7 PROJECT DESCRIPTION

The approximately 51.3-acre vacant, undeveloped project site is proposed for a mix of commercial, residential, recreation, and designated open space. The commercial development would be located in the western portion of the proposed project site bordered by Admiral Callaghan Lane to the west; Turner Parkway to the north; a Honda car dealership and condominiums and apartments to the south; and, an open space corridor bisecting the project site to the east. The open space area would serve as a buffer to the planned residential area. Residential development would be located on the eastern portion of the proposed project site bordered by Turner Parkway to the north; the existing Hunter Ranch residential development to the east; condominiums and apartments to the south; and, the designated open space to the west (buffer to the planned commercial area).

The proposed project incorporates sidewalks, paseos, and a trail designed to promote a pedestrian- and bicycle-friendly environment; to encourage alternative transportation between the commercial and residential project elements; and, improve access for viewing the proposed open space. All components of the proposed project have been designed and planned with the intent of being responsive to the existing on-site features, topography, and other resources and constraints found on the proposed project site and in the surrounding areas, and to be compliant with pertinent planning documents, regulations, and guidelines.

While the project is considered consistent with the existing General Plan and zoning designations, the project does propose a zoning map amendment to make the existing zoning classification consistent with the recently adopted General Plan. Table 3-2: Existing and Proposed Land Use Designations summarizes the changes for the proposed project.

The project includes a subdivision of the 51.3-acre site into four lots. Two lots for the commercial component of the project, one lot for the residential component, and one lot for the proposed open space area. The Tentative Map showing the proposed large lot subdivision is shown in Section 1.6: Parcels in Siteplan. The proposed configuration of the commercial and retail sites can be found on Page 11 and the proposed layout of the residential lots is shown on Page 13. Each component of the proposed project is described in detail in the following sections. The project will be built with one phase.



- LANDSCAPE AREAS
- SINGLE-FAMILY LOTS
- CLUSTER LOTS (ALLEY-LOADED)

- 1 OPEN SPACE - NATURAL FEATURES
- 2 COMMERCIAL BUILDING
- 3 RETAIL BUILDING
- 4 PARKING AREA
- 5 LOADING ZONE
- 6 GAS STATION
- 7 WATER QUALITY BASIN
- 8 BUS STOP
- 9 SIGNALIZED INTERSECTION
- 10 PEDESTRIAN PATHWAY
- 11 PARKS

REFER TO SECTION 3: PROJECT UTILITIES FOR EASEMENTS

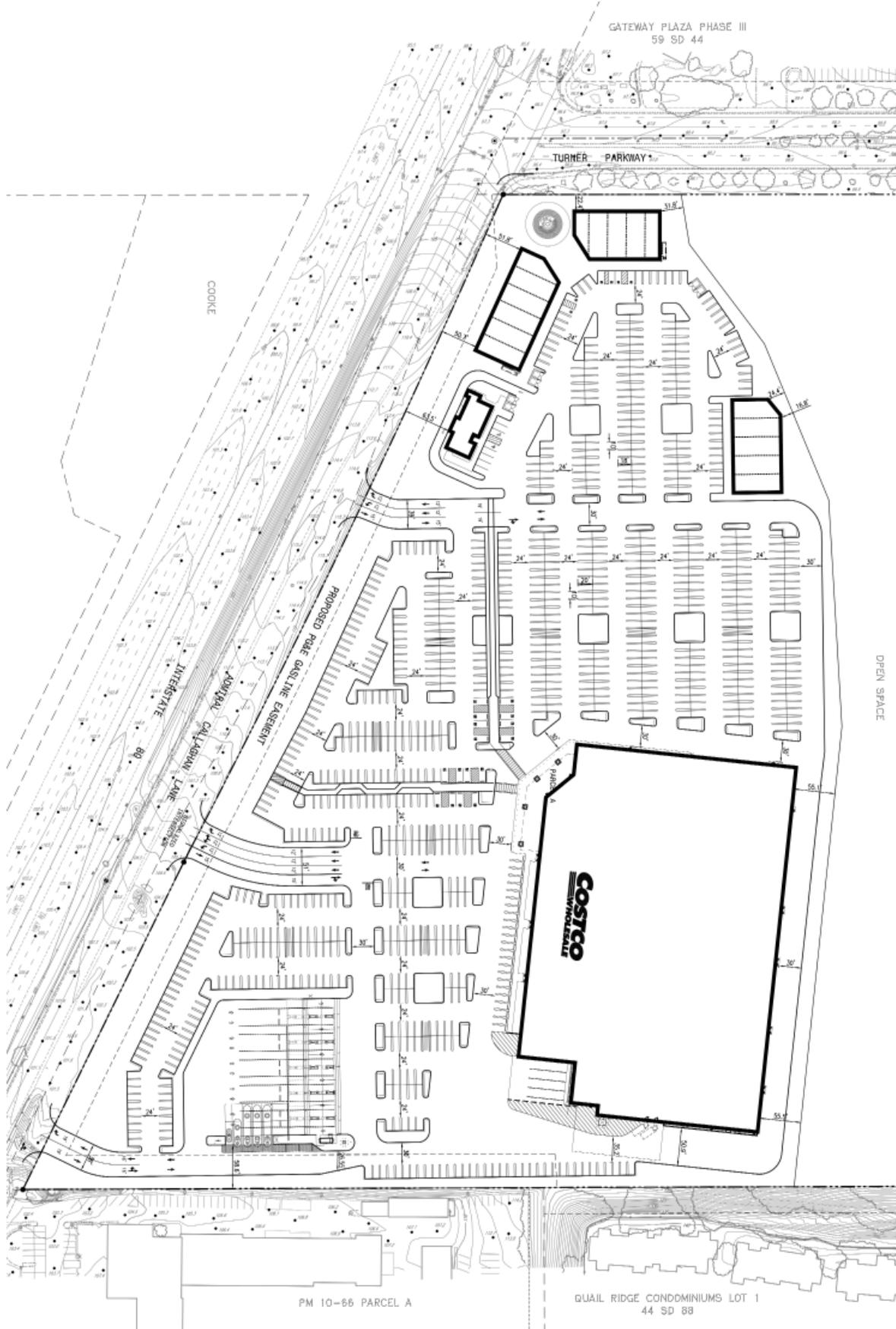
1.7.1 Commercial - Western Portion of the Site

The western portion of the project site is planned for a commercial center. The proposed project uses would accommodate 179,688 square feet (sf) of commercial building area on 21.8 acres. The commercial area is proposed for 5 separate buildings and a gasoline service station accommodating up to 30 fueling dispensers and a related 50-sf kiosk. The commercial center would have 962 parking spaces including accessible spaces for disabled persons.

The southern portion of the commercial center is proposed for a 152,138 sf Costco store on 17.3 acres of the 21.8-acre commercial area; this would be the largest building. Costco intends to relocate their existing Vallejo operations from the Gateway Plaza shopping center to the proposed project site. The Costco would have 774 parking stalls, of which 16 would be reserved for disabled accessible parking. The proposed gas station would be located in the southern portion of the commercial center parking lot and the Costco building would be setback from the roadway approximately 450 feet, separated from Admiral Callaghan Lane by the parking lot. The northern end of the commercial area is proposed to be developed with four buildings ranging in size from 3,000 sf to 9,400 sf on approximately 4.56 acres of the 21.8-acre site. This portion of the commercial area would have 188 parking stalls, inclusive of 8 spaces reserved for disabled accessible parking. These commercial uses would be located along the frontage with Turner Parkway and wrap around the southeast corner of Admiral Callaghan Lane at Turner Parkway and then along roughly one-third of the western edge of the commercial area fronting Admiral Callaghan Lane. A restaurant with a drive-thru is proposed for one of the four buildings in the northern end of the commercial area; potential uses for the other three buildings could include general neighborhood services such as restaurants, health and fitness clubs, medical clinics, pharmacies, salons, laundry, clothing, convenience stores, and other related services.

The proposed commercial area would take access from three driveways off of Admiral Callaghan Lane as shown on Page 11. The selection of traffic control devices at the three intersections also considers the City's concerns regarding traffic signal spacing and the number of traffic signals along Admiral Callaghan Lane. The driveway configurations are as follows:

- Northern Driveway: Unsignalized, separate outbound left turn and right turn lanes, southbound left turn pocket for inbound left turns;
- Middle Driveway: Signalized, two outbound left turn lanes and one outbound right turn lane, southbound left turn pocket for inbound left turns;
- Southern Driveway: Unsignalized, one outbound right turn lane, no outbound left turn allowed, southbound left turn pocket for inbound left turns.



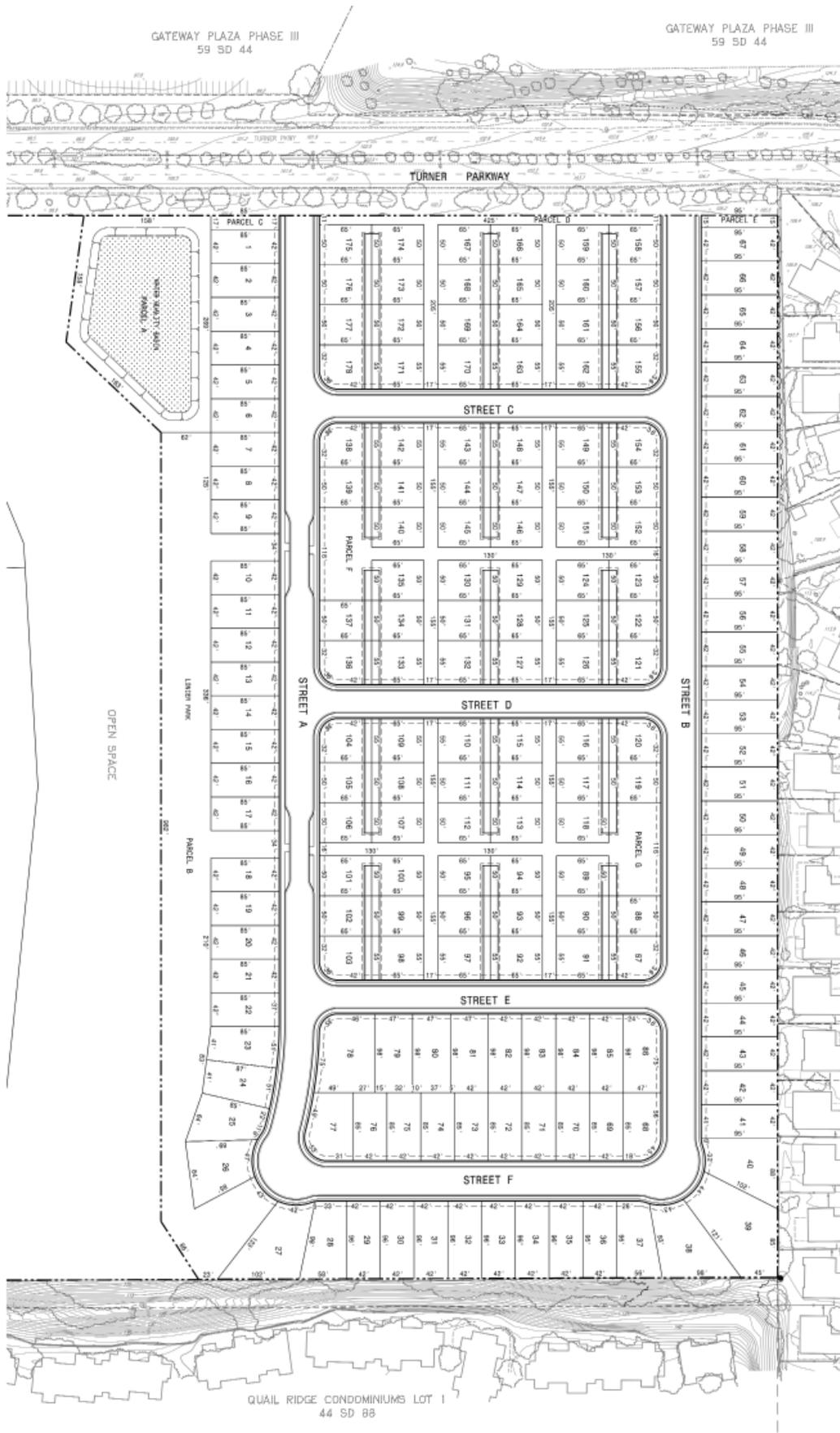
1.7.2 Residential - Eastern Portion of the Site

The residential component would be located on the eastern portion of the project site on 23.8 acres. The project proposes 178 single-family detached units with two building types: those with a private front courtyard and alley loaded garages (Cluster Lots), and those with traditional driveways and front-loaded garages (Single-Family Lots). The 92 alley-loaded residences, generally located within the interior of the project site, would have courtyards and garage access from the north-south-oriented alleys. The alleys would be accessed from east-west-trending 42-foot-wide interior streets. Between the interior residences, landscaped paseos would provide access to the front of the homes. The Cluster homes would come in three different designs styles with subtle architectural differences among the three designs. A conceptual design of home with an alley facing garage is shown in Section 7.2.3 Cluster Home Typical Example. Of the remaining 86 residences, 67 would be located around the perimeter of the residential area and 19 residences would be in the southern residential zone. The 86 residential units would be traditional single-family detached units on lots with a 42-foot minimum width and an 85-foot minimum depth, except on pie lots which have a varying width. The traditional residential units would feature a front driveway and front entry way facing the streets and be generally oriented to the interior of the residential area. These homes would also come in three different design styles with subtle variations among the designs. A conceptual design of a Single-Family home is shown in Section 7.2.2: Single Family Home Typical Example. The average density for the residential uses would be 7.9 units per gross acre.

The residential component of the project would be accessed from two driveways off Turner Parkway as shown in the residential plan on Page 13. The western residential driveway was assumed to be signalized with full access for all movements. The eastern driveway was assumed to be unsignalized with right-in/right-out access only. Signalization of the western driveway would include a modification to provide a left turn lane into the project site and a left turn out of the project site.

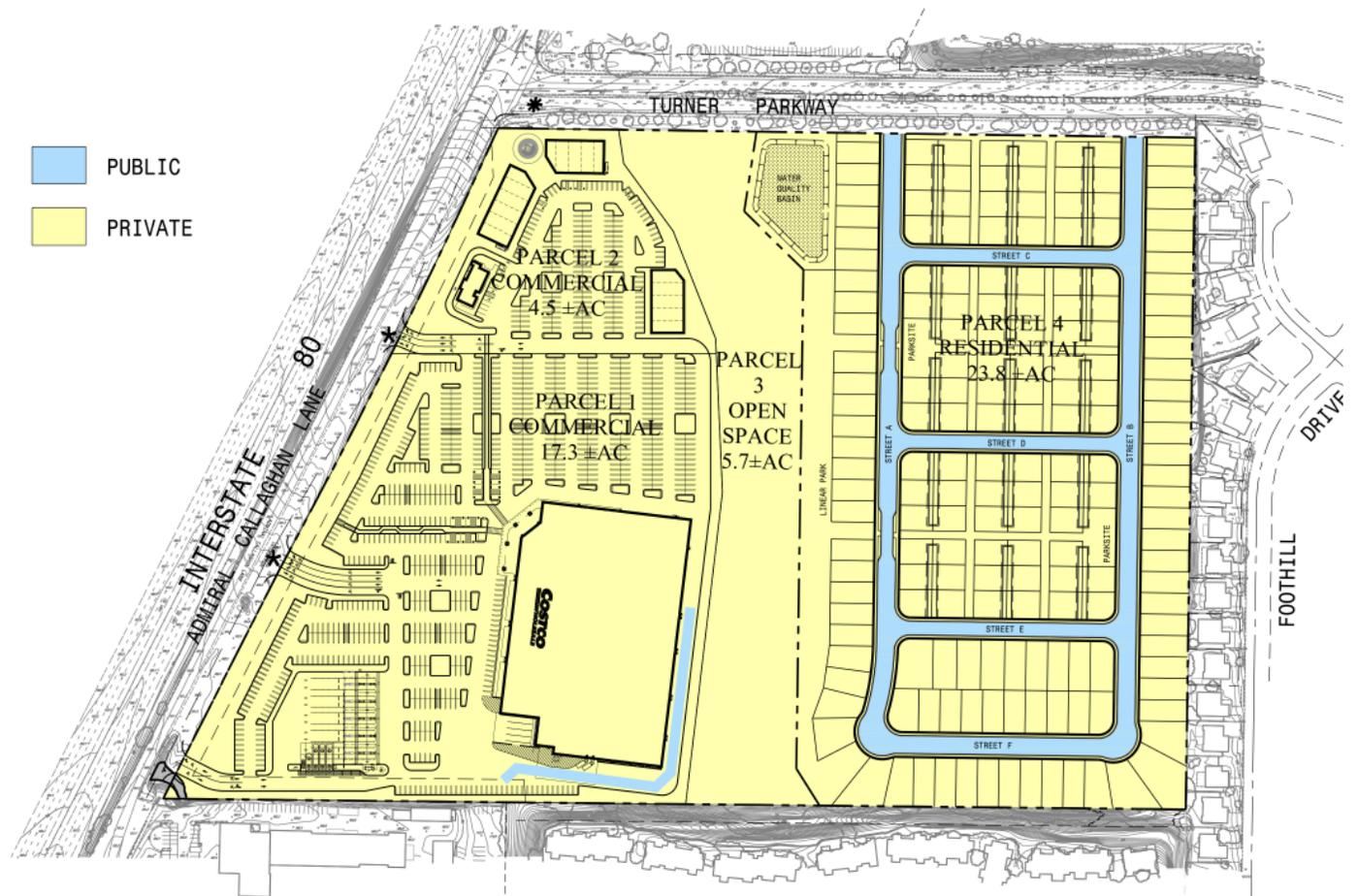
1.7.3 Open Space

The central portion of the proposed project site would be preserved as open space would consist of 5.7 acres. Development would be precluded in this area. This area drains the existing off-site residential developments to the south and southeast of the proposed project site drain into low lying areas. This open space would separate the proposed project's commercial and residential components and provide a buffer between the two uses. This area would be subject to protective restrictions that would not allow for public or private use and the open space would be secured by attractively designed perimeter fencing consistent with the appearance of open space. The open space would only be accessible via private gates located on the commercial side of the proposed project in order to facilitate maintenance activities. The proposed project anticipates that the open space would be owned, managed, and maintained by a homeowners association (HOA) created in connection with the residential component.



1.8 LAND OWNERSHIP DESCRIPTION

Fairview at Northgate is a 51.3 acre proposed mixed use project that contains three distinct land uses that include a) Retail-Commercial, b) Residential, and c) Open Space. The Retail-Commercial portion is 21.8 acres divided into two parcels of 17.3 acres and 4.5 acres. The entire 21.8 acres will be privately owned by one or more parties, with the exception of the public sewer main line. The Residential portion is 23.8 acres and includes 178 residential lots, courtyards, streets, 2 pocket parks, a linear park, and a water quality basin. Within the residential areas, the individual lots, courtyards, pocket parks, linear park, and water quality basin will be privately owned. The streets (non-courtyards) that serve the residential lots shall be dedicated to the City of Vallejo for public ownership and maintenance. The Open Space portion is 5.7 acres, separating the Retail-Commercial and Residential portions of the property. The Open Space shall be privately owned and will ultimately be transferred to a future private home owner’s association.



SECTION 2: ROADWAY DEVELOPMENT STANDARDS

2.1 ROAD STANDARDS

Roadway cross sections have been created for the Fairview at Northgate development project based on future projection of traffic. A traffic study was prepared by Fehr & Peers in 2019 to assess the development’s impact on the existing traffic circulation. The following standards describe each roadway and their typical mid-block cross section.



2.1.1 Admiral Callaghan Lane

Admiral Callaghan Lane runs adjacent to Interstate-80 and fronts the Fairview at Northgate project. Currently the road is a major north-south public street. Admiral Callaghan Lane is found along the commercial side of the project with three access points proposed. The central access point will be signalized and the other two will have stop controlled movement coming out of the entrances. The two existing lanes will serve as the southbound lanes while two additional lanes to be constructed will serve as the northbound lanes for a total of four lanes of traffic. This street section will only be constructed on the east side of the street, and the west side will remain. A 12-foot wide landscaped median will be constructed between the two sides to match Admiral Callaghan Lane north of the project.

ADMIRAL CALLAHAN LANE STANDARDS

Street Standards:

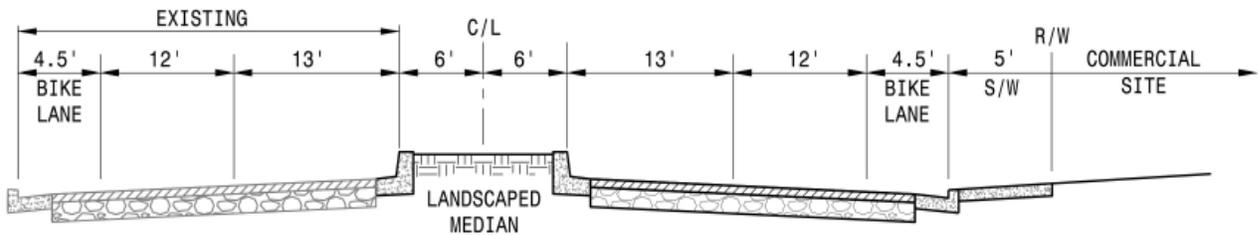
- a. 80-foot overall Right-of-Way
- b. Four vehicle travel lanes
- c. 12' median
- d. 4.5' bike lanes both sides of the street
- e. No parking on roadway
- f. Commercial Signage to be located along street frontage
- g. Lighting to meet City of Vallejo Public Improvements Standards

Landscape Zone Containing:

- a. 4.5-foot attached walk
- b. 45' PG&E easement (30' from R.O.W.)
- c. 50' total landscape frontage before parking starts on commercial property
- d. 12' landscaped median

Landscaping:

- a. All landscape and irrigation plans shall be reviewed by the City of Vallejo for approval
- b. Trees located behind the PG&E easement
- c. Shrubs and ground cover to be located in the PG&E easement



ADMIRAL CALLAGHAN LANE

N.T.S.

2.1.2 Existing Turner Parkway

Turner Parkway is a public street connecting Admiral Callahan and Ascot Parkway. This road will be left in place including the existing 4.5-foot sidewalk. The proposed right-of-way will be enhanced with a meandering trail that will be behind the existing tree line. This road will service the residential side of the project with two access points into it. The western access point will be signaled and the eastern access point will have a stop sign onto Turner Parkway.

EXISTING TURNER PARKWAY STANDARDS

Street Standards:

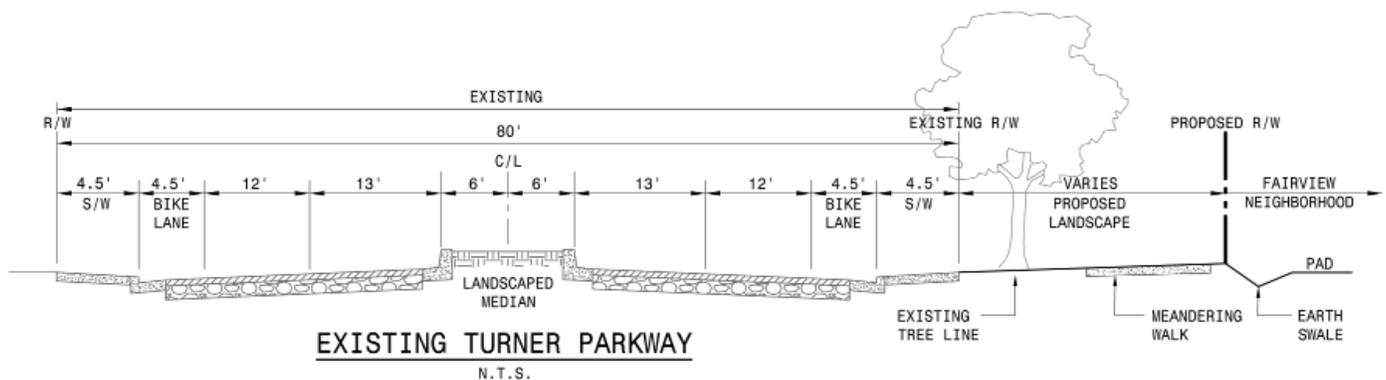
- a. 80-foot Right-of-Way
- b. Four vehicle lanes
- c. Existing landscaped median
- d. No parking on roadway
- e. Community Signage to be located along street frontage
- f. Lighting to meet City of Vallejo Public Improvements Standards

Landscape Zone Containing:

- a. 4.5-foot attached walk
- b. 45' total landscape frontage along commercial and residential frontage once development is completed
- c. Meandering walk running behind existing attached sidewalk

Landscaping:

- a. All landscape and irrigation plans shall be reviewed by the City of Vallejo for approval
- b. Most existing trees to remain
- c. All existing landscape in median to remain
- d. New trees will fill in behind existing trees
- e. Shrubs and ground cover will be provided



2.1.3 Residential Streets

Residential streets will provide access to houses fronting onto it. City of Vallejo Standards have been applied to the streets planned for the Fairview at Northgate residential development. These streets are internal to the project and connect to the collector street of Turner Parkway. In special cases the road widths were reduced to allow parking only on one-side of the street.

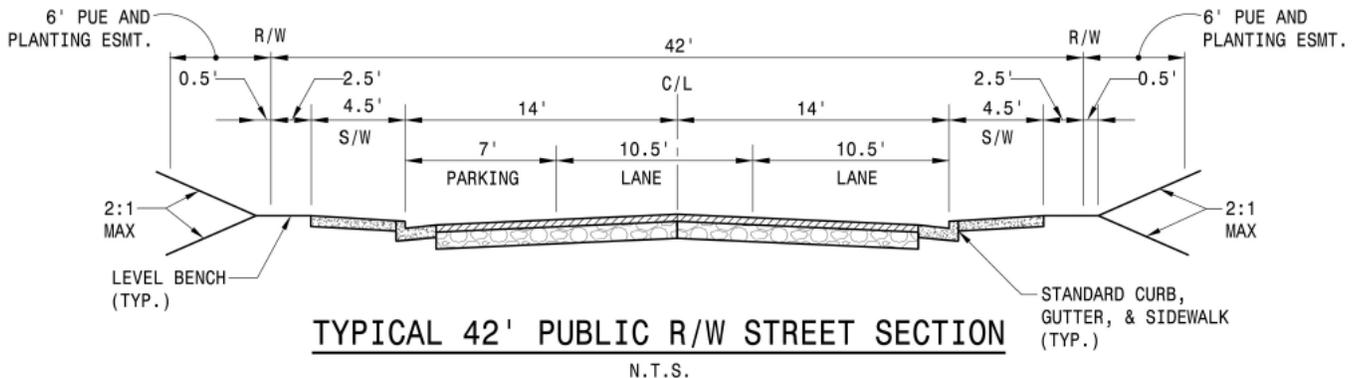
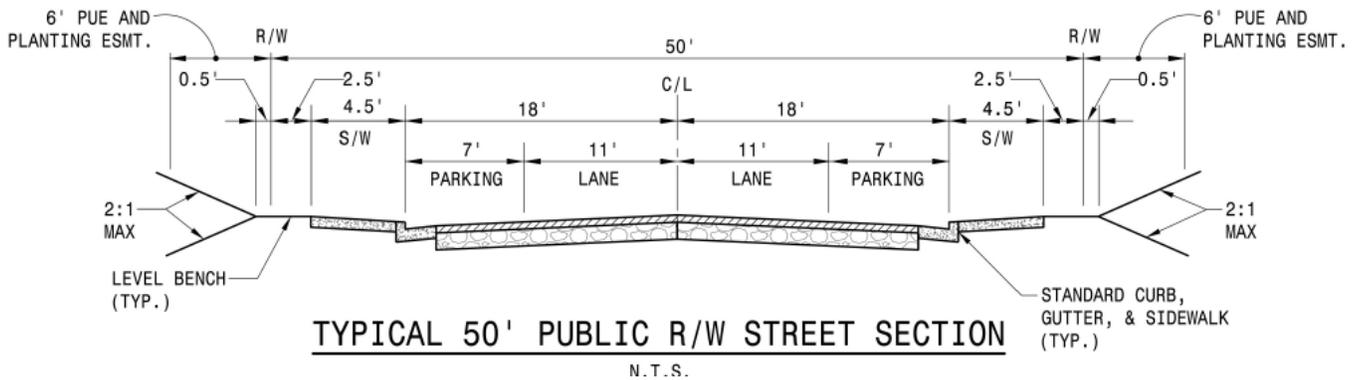
RESIDENTIAL STREET STANDARDS

Street Standards:

- a. 50-foot or 42-foot Right-of-Way
- b. 36-foot or 28-foot curb to curb
- c. Parking on both sides on 50-foot Right-of-Way
- d. Parking on one-side on 42-foot Right-of-Way
- e. Lighting to meet City of Vallejo Public Improvements Standards

Landscaping:

- a. 4.5-foot attached walk
- b. Street trees to be planted in private yards



2.1.4 Private Alleys

Alleys provided shared vehicular access to houses with garages fronting onto it. These are private and the lot lines will go to the centerline of each alley. These alleys are small in scale and connect to the public residential streets. Private alleys will be owned and maintained by the residential HOA.

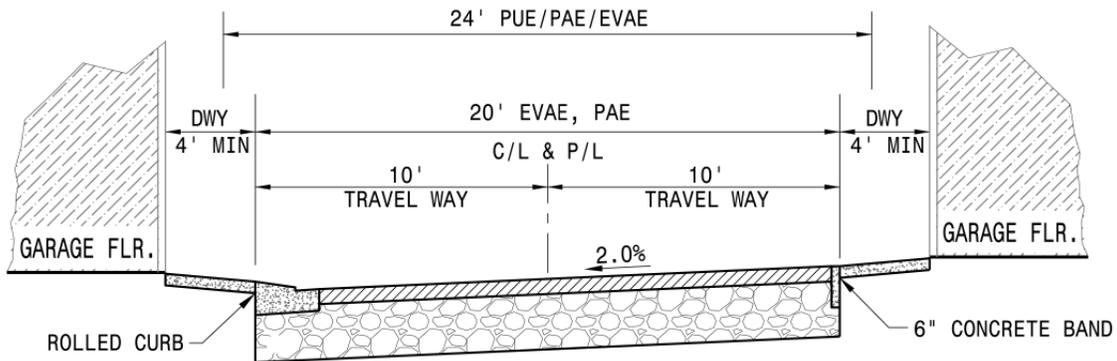
PRIVATE ALLEY STANDARDS

Street Standards:

- a. 20-foot Right-of-Way
- b. 10-foot travel way in each direction
- c. No parking on the Alleys
- d. Lighting to meet Safety Standards

Landscaping:

- a. Landscaping will be in areas between drives.
- b. No street trees



TYPICAL 20' PRIVATE ALLEY SECTIONS

N.T.S.

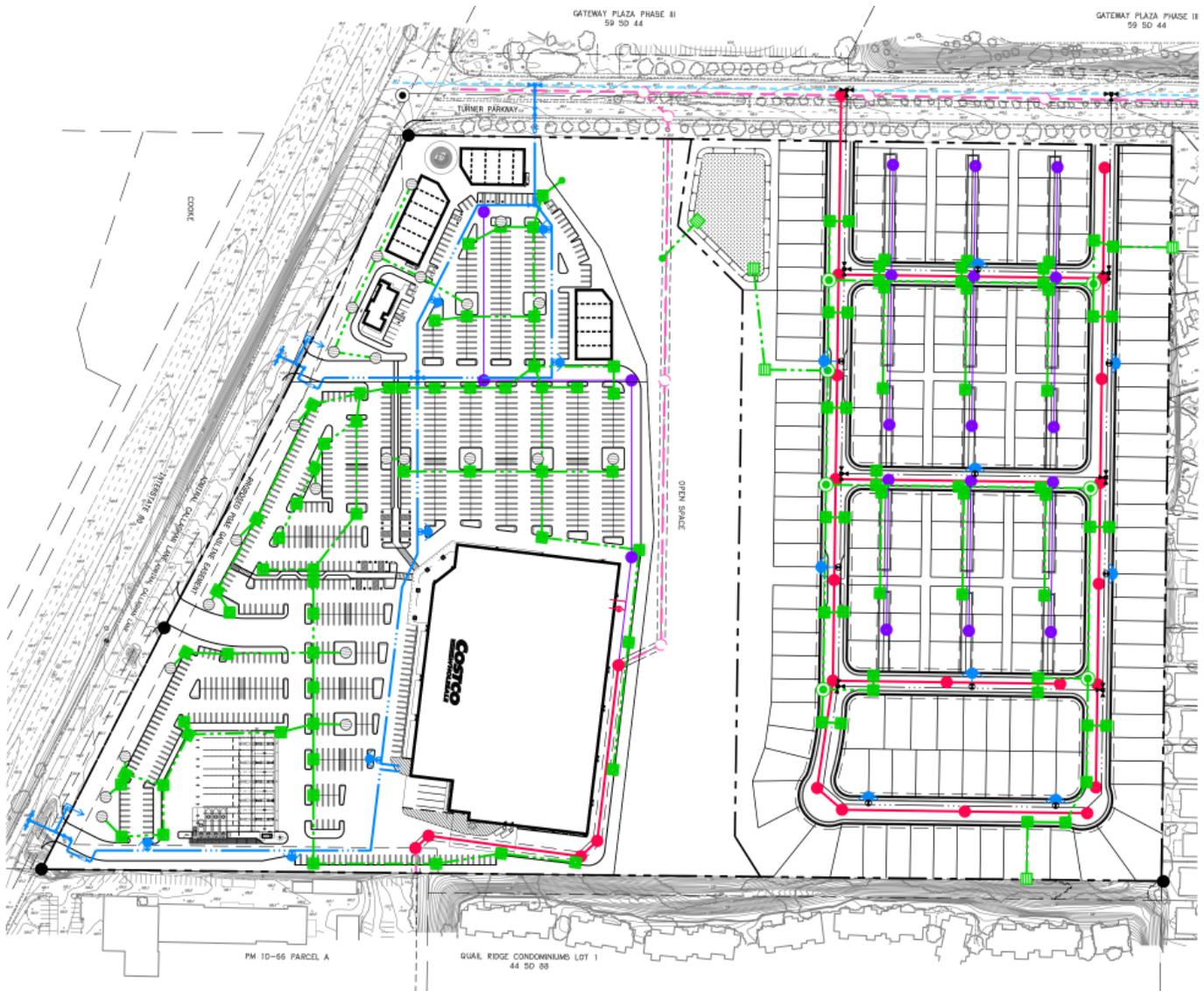
2.1.5 Bus Stop

One bus stop is planned adjacent to Fairview at Northgate. It will be located on Turner Parkway and signs will be placed to indicate the location. This bus stop will serve the residents of Fairview at Northgate, as well as the community at large.



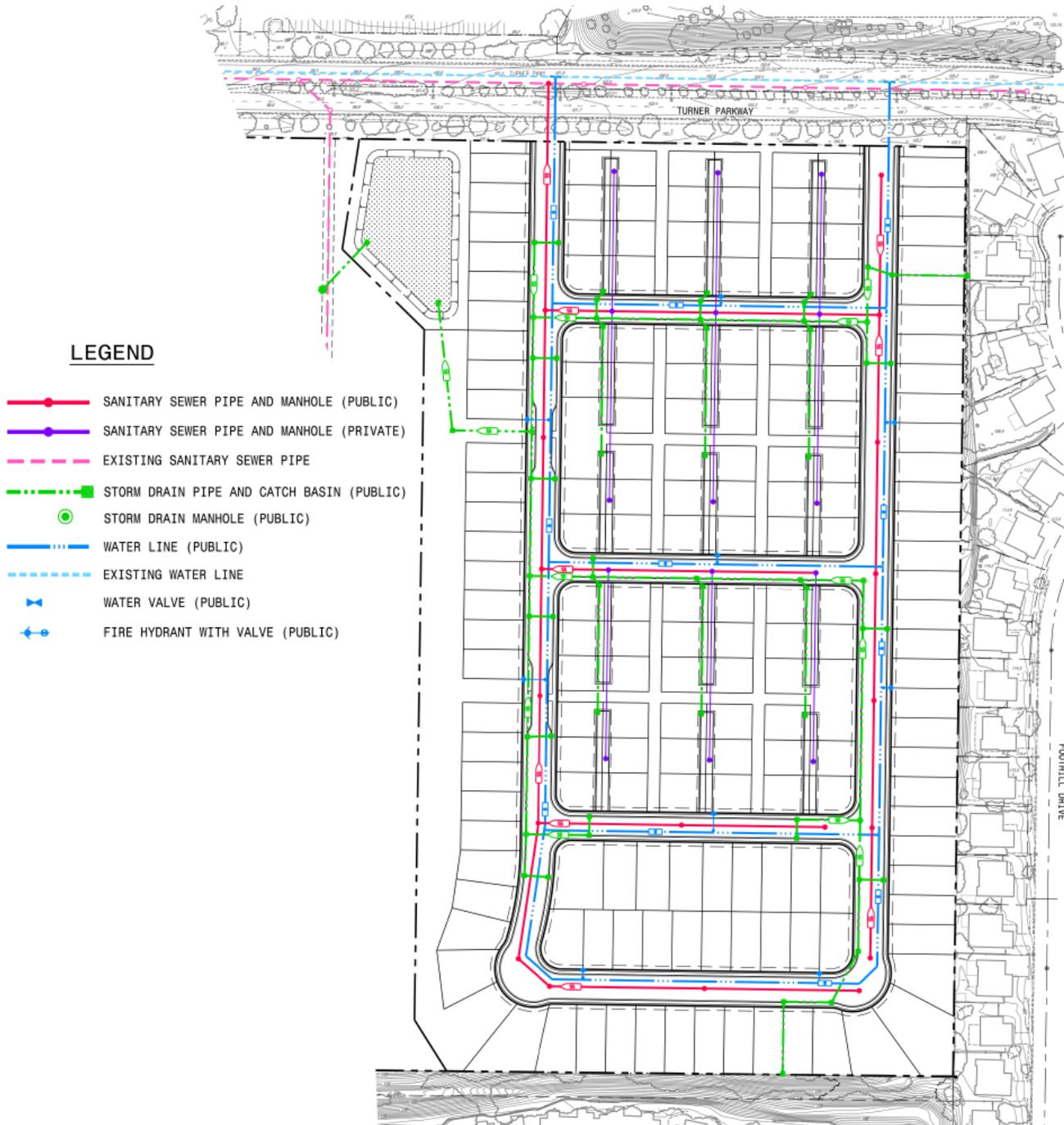
SECTION 3: PROJECT UTILITIES

This Section provides information on the proposed utilities needed for the residential and commercial parts of the Fairview at Northgate Master Plan. The project would be designed, developed and constructed with all utility infrastructure (water, electric, gas, sanitary sewer, storm water, cable/internet) required for the operation of the proposed commercial and residential project improvements. The proposed project would connect to existing utility infrastructure located in adjacent public right of way (i.e. Admiral Callaghan Lane and Turner Parkway) or within the site (Sewer). Providing service to the project site. As a part of the proposed project, the existing PG&E gas line will be realigned to the western edge of the property along Admiral Callaghan Lane . A portion of the VSFCDC sewer main crossing the site will also be realigned within the proposed drive aisle on the east side of the proposed Costco building. An overview of the project utilities is below, detailed graphics will follow in the section.



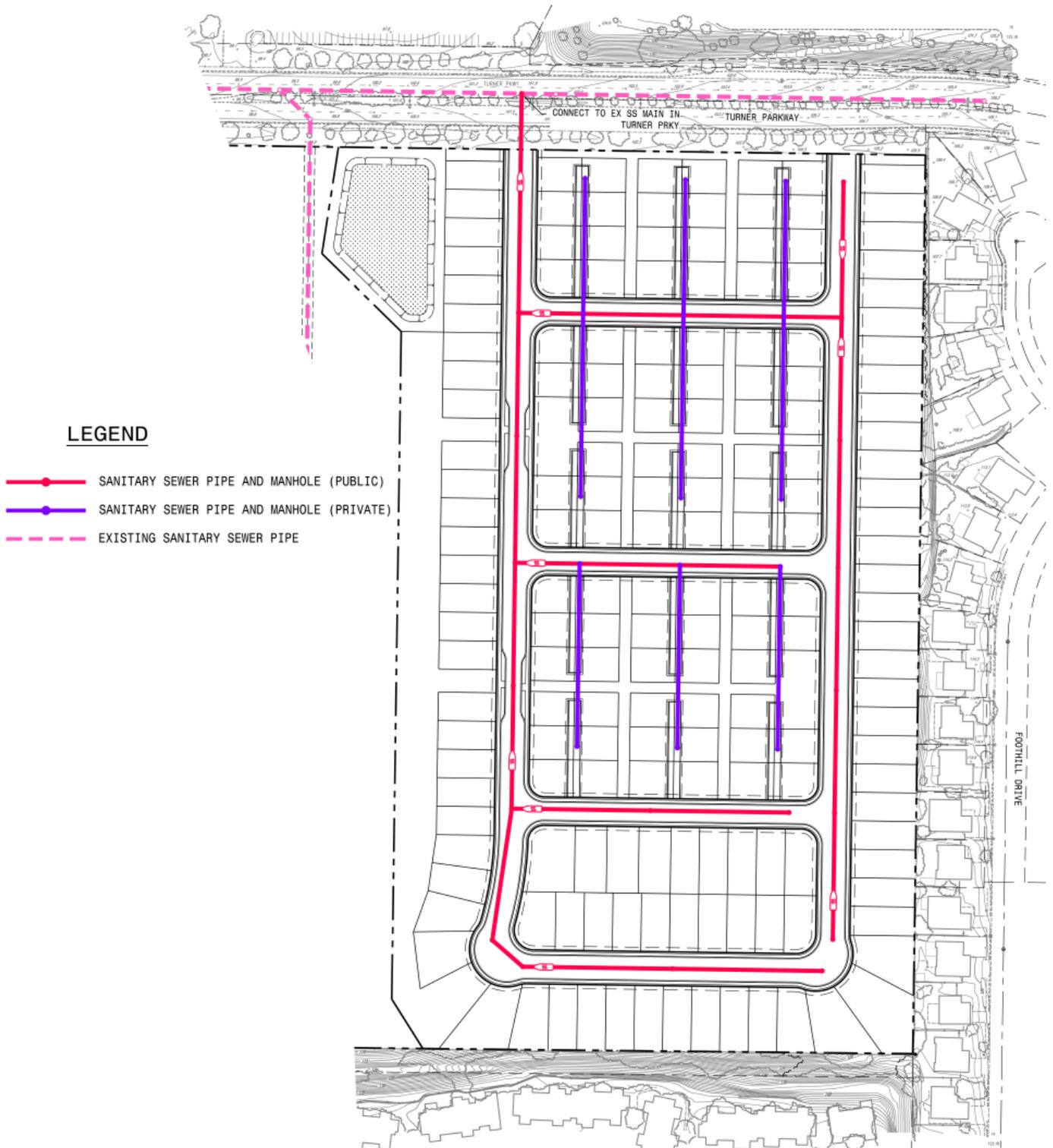
3.1 RESIDENTIAL UTILITIES

This section provides information on proposed utilities for the residential part of the Fairview at Northgate Master Plan. The infrastructure to be provided will be a combination of public and private system. Infrastructure located within the public streets will be dedicated and maintained by the City/District. Infrastructure located within the private alleys/paseos will be owned and maintained by the Homeowners Association to be established. The water will connect to tie into the existing water line in Turner Parkway at both project entries. The sanitary sewer will tie into the existing sewer line in Turner Parkway. The proposed storm drain system will convey runoff to a basin to be installed withing the northwest corner of the site. This basin will provide both water quality and hydro-modification meeting current City standards before discharging into the Open Space Parcel (Parcel 3).



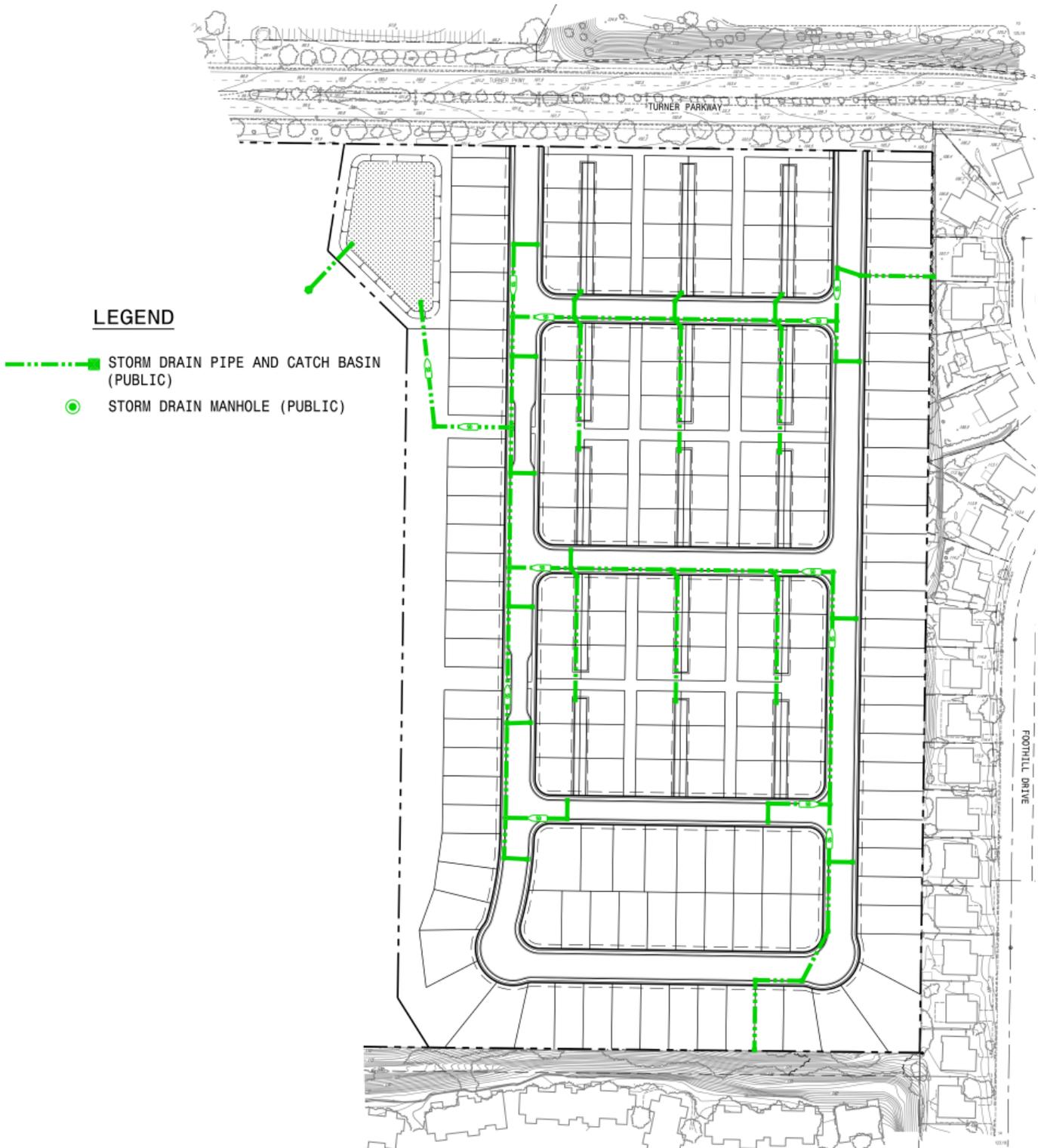
3.1.1 Residential Sanitary Sewer

The Sanitary Sewer shall be designed and installed to VFWD standards. The system will be a combination of publicly and privately owned, connecting to the existing sanitary sewer system located in Turner Parkway.



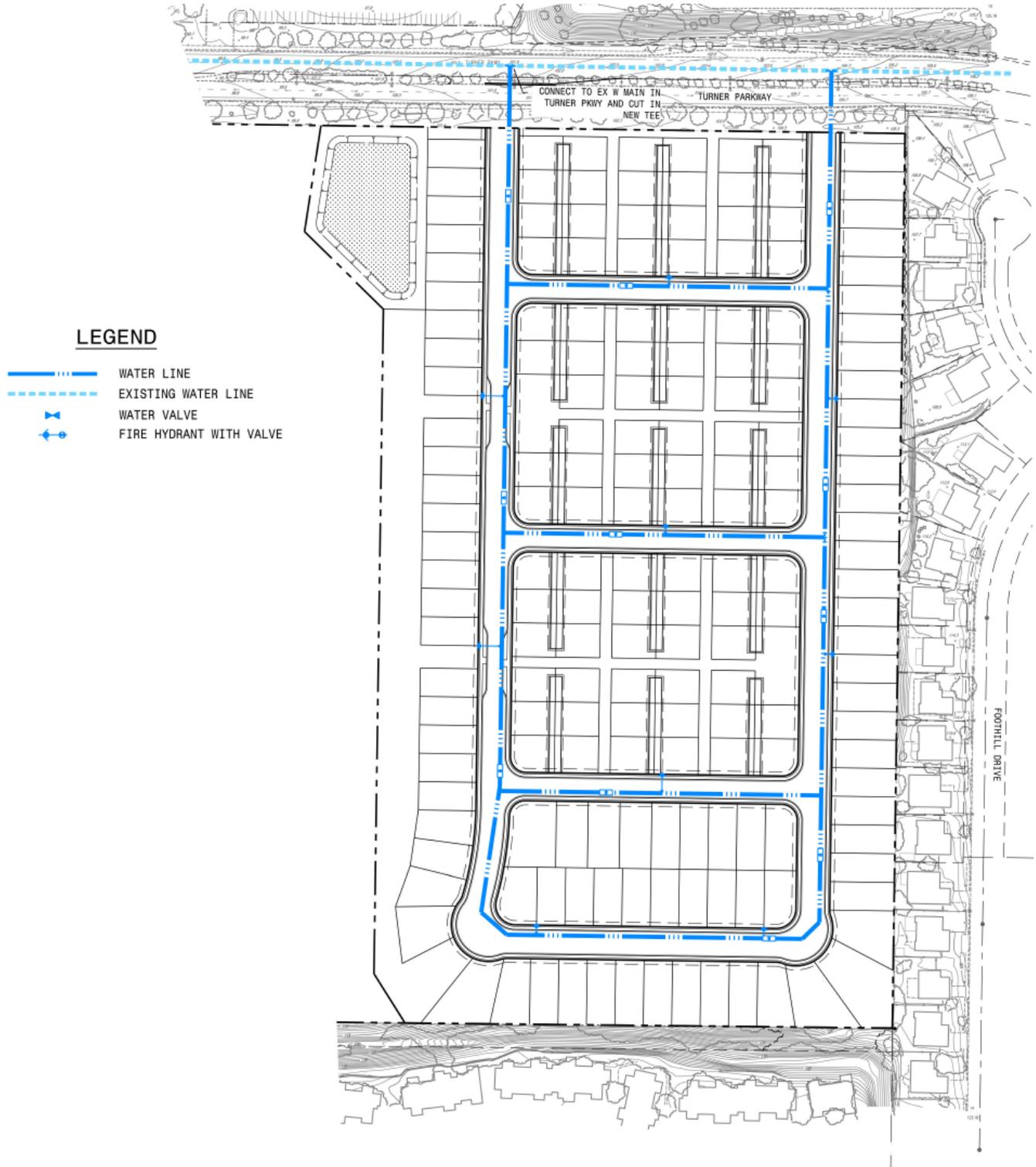
3.1.2 Residential Storm System

The Storm System shall be designed and installed to VFWD standards. The proposed storm system will convey runoff to a Basin to be installed within the northwest corner of the site. This basin will provide both water quality and hydro-modification meeting current City standards before discharging into the Open Space parcel (Parcel 3).



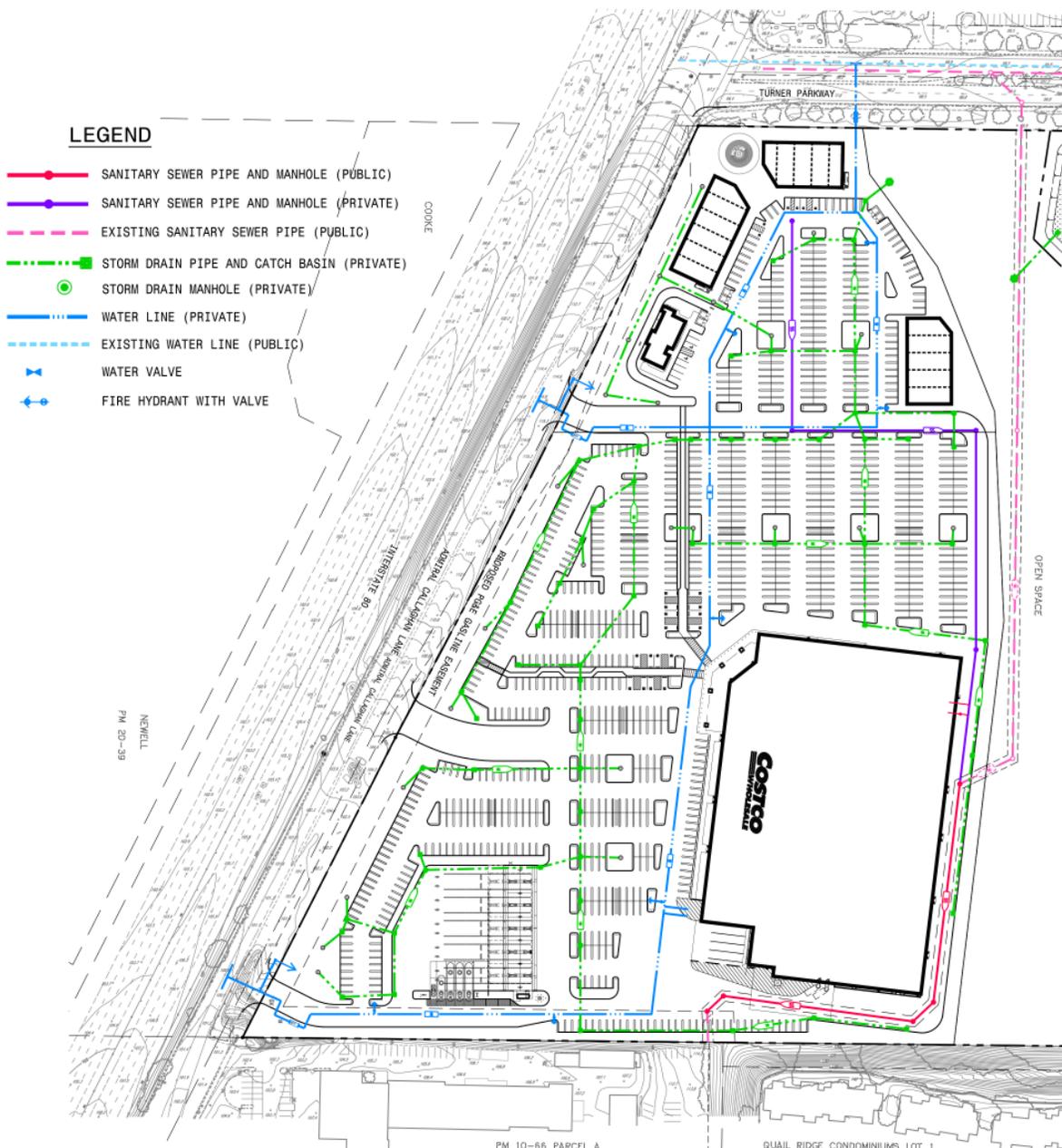
3.1.3 Residential Water System

The Water System shall be designed and installed to City of Vallejo Water Department standards. The public system will tie into the existing water line in Turner Parkway at both entries creating a looped system.



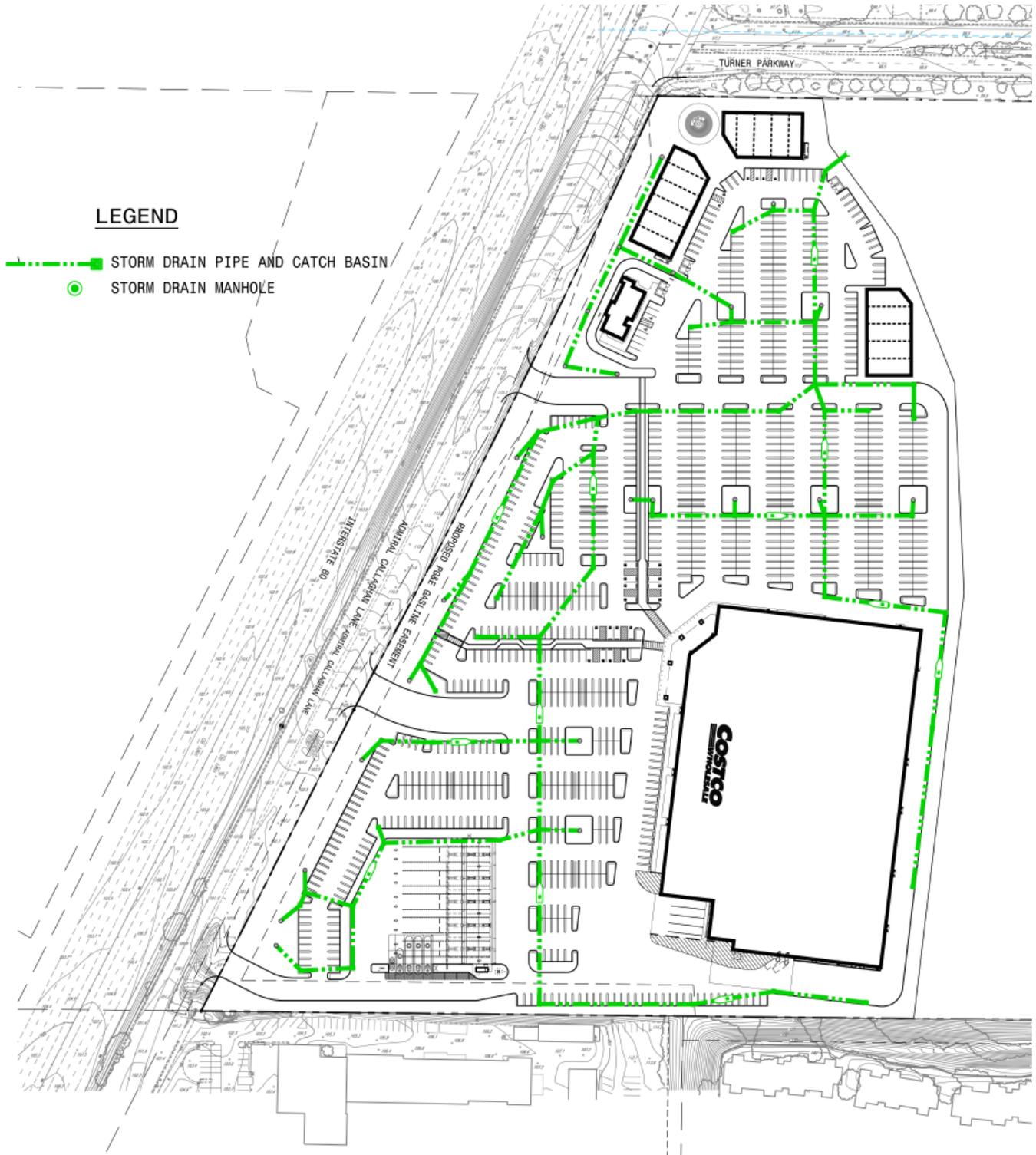
3.2 COMMERCIAL UTILITIES

This section provides information on proposed utilities for the commercial parts of the Fairview at Northgate Master Plan. Within the project site the necessary infrastructure will be privately owned and maintained except for the existing VFWD sewer truck main. The proposed water system will connect to existing mains within Admiral Callaghan Lane and Turner Parkway creating a loop system. Master water meters will be located within the public Right-of-Way for the two street, the system becomes private after the meters. The existing sanitary sewer system that flows south to north will be relocated as needed along the proposed Costco building. Private internal mains needed to serve the proposed uses will connect to the existing trunk sewer. The privately owned storm drain system will discharge runoff into the Open Space parcel similar to the residential project. Water quality will be handled with the landscaping islands/area around the site. Hydro-modification will be handled by storing runoff in oversized pipes or storage cells located within the parking lots. The existing PG&E gas-line that currently runs north-south across the site will be relocated to along Admiral Callaghan Lane.



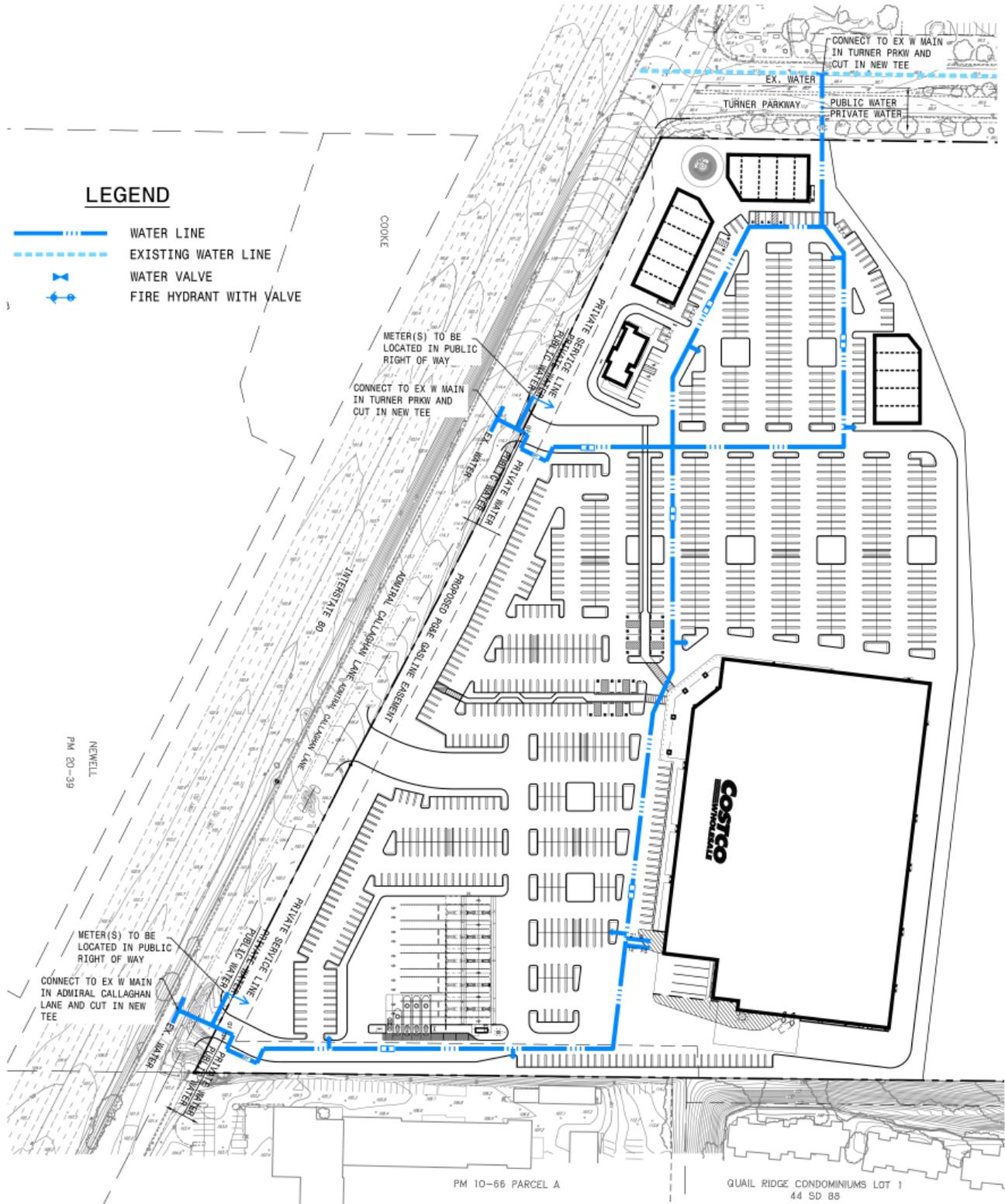
3.2.2 Commercial Storm System

The Storm System shall be designed and installed to VSFC standards. The privately owned storm drain system will discharge runoff into the Open Space Parcel similar to the residential project. Water quality will be handled with the landscaping islands/areas around the site. Hydro-modification will be handled by storing runoff in oversized pipes or storage cells located within the parking lots.



3.2.3 Commercial Water System

The Water System shall be designed and installed to City of Vallejo Water Department standards. The privately owned system will connect the existing mains within Turner Parkway and Admiral Callaghan Lane to create a loop system. The private system will provide both domestic water for use while meeting the needs of fire.



SECTION 4: RESIDENTIAL DEVELOPMENT STANDARDS

This section provides development standards for the residential part of the Fairview at Northgate Master Plan. These standards apply to the residential portion of the Master Plan which makes up approximately 23.8± Acres of the Master Plan.

4.1 RESIDENTIAL STANDARDS

4.1.1 Primary Uses Permitted

Two-story single family detached residences.

4.1.2 Purpose and Intent

This zone allows for the development of homes and commercial within a single zone. 23.8± Acres are going to be used for residential and 21.8± Acres are going to be used for commercial.

4.1.3 Site Development Standards

a. Individual Lots

Each dwelling shall be located on an individual lot

b. Lot Area

Single Family lots shall be a minimum of 3,200 square feet

Cluster lots shall be a minimum of 3,000 square feet

c. Maximum Lot Coverage

For both single family lots and cluster lots; no more than 85% of any lot shall be occupied by a residence or an accessory structure

d. Lot Width

Single family lots shall be a minimum of 42 feet in width at the front setback

Cluster lots shall be a minimum of 50 feet in width at the front setback

e. Lot Depth

Single family lots shall be a minimum of 85' feet in depth

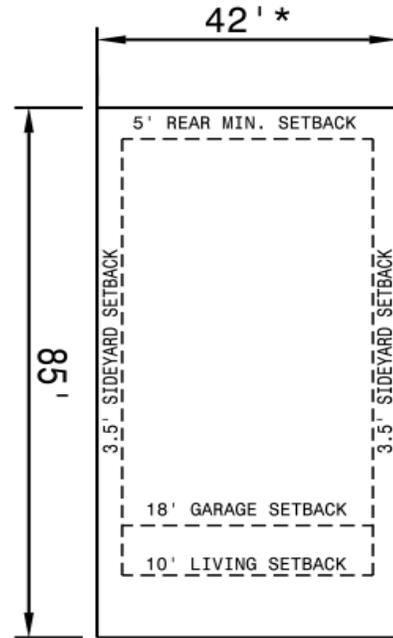
Cluster lots shall be a minimum of 65' in depth

f. Building Setbacks:

Each *Single Family* dwelling shall have the following setbacks to the property line:

- front (living): 10'
- encroachments*: 2' within living setback
- garage: 18'
- rear: 5'
- sideyards: 3.5'
- corner lots: 8.5' to R/W

*Allowable encroachments include but not limited to: porch, fireplace, bay windows, architectural features

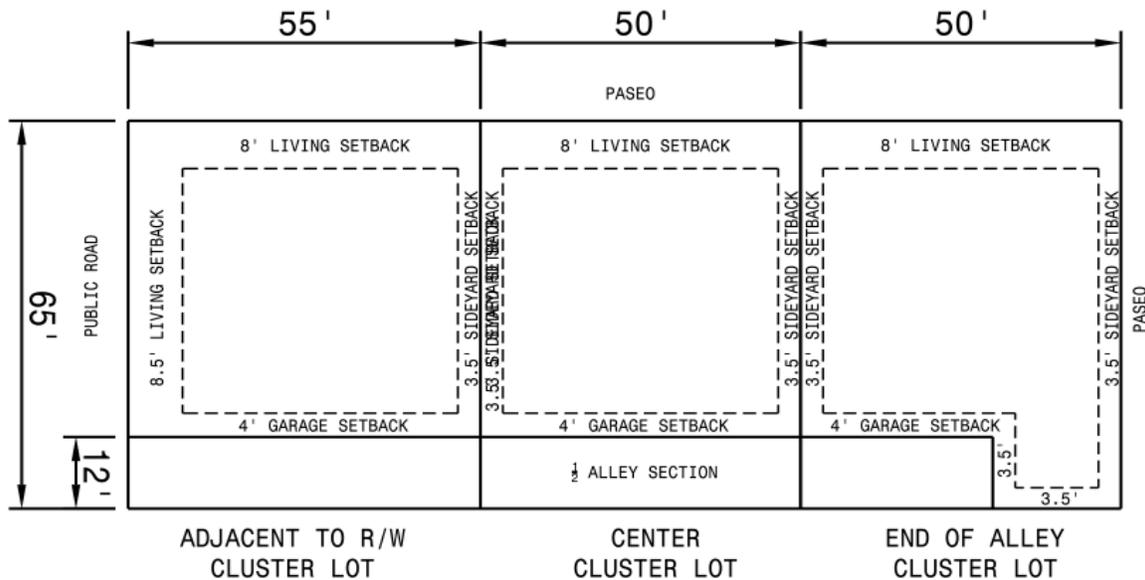


SINGLE FAMILY LOT

* EXCEPT CORNER LOTS AND PIE LOTS

Each *Cluster* dwelling shall have the following setbacks to property line:

- front (living): 8' adjacent to paseo
8.5' adjacent to public roads
- encroachments*: 3' within living setback
- garage: 4'
- sideyards: 3.5'
- corner lots: 8.5' to R.O.W.



g. Maximum Height

The maximum height shall be 30 feet

h. Garages

Garage conversions shall not be permitted. All garages will hold 2 cars. Tandem will be permitted.

i. Required Parking

Two parking spaces in a garage are required for every dwelling unit. Additional parking spaces shall be located on the public streets. On street parking space minimum of 7 feet by 20 feet.

j. Fencing

Rear and Side property Lines shall have 6’ tall screen fence.

Lots backing onto the open space shall have a 6’ tall view fence in the rear and a 6’ tall screen fence on the side. See Section 6.3 for more detail.

k. Lighting

Lighting shall be of similar design throughout the development meeting City of Vallejo Public Works standards.

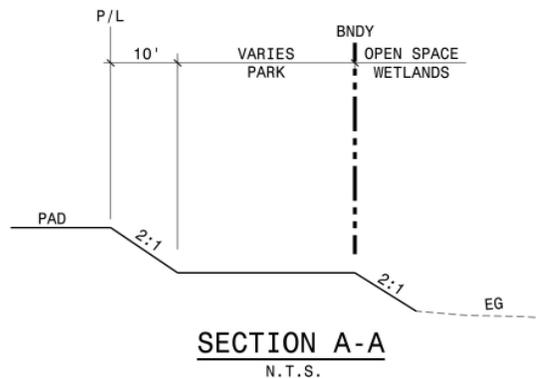
l. Accessory Structures

Accessory structures shall be allowed in the Single-Family portion and shall follow the Vallejo Municipal Code as defined in Section 16.04.540.

- Shall not encroach any setback
- Shall be under 20’ in height

4.1.4 Grading Standards

Abrupt cut and fill at the edge of open space areas shall be avoided. Maximum grades shall be 2:1. See Grading Detail below.



4.1.5 Homeowners Association

There will be a Homeowner’s Association for the residential development. This entity will make and enforce rules for the properties within this residential development. Lot owners will automatically become members of the HOA Association.

4.1.6 Conditions, Covenants, and Restrictions (CC&Rs)

Within the residential neighborhood controls will be placed on each lot to guide the builder and homeowners during the construction of the neighborhood and throughout any subsequent changes in the future. The CC&Rs are part of the purchase of a lot and are legally enforced.

SECTION 5: COMMERCIAL DEVELOPMENT STANDARDS

This section provides development standards for the commercial part of the Fairview at Northgate Master Plan. These standards apply to the commercial portion of the Master Plan which makes up approximately 21.8± Acres of the Master Plan.

5.1 COMMERCIAL STANDARDS

5.1.1 Primary Uses Permitted

See Appendix A

5.1.2 Purpose and Intent

This zone allows for the development of commercial within a single zone. Approximately 21.8± Acres are proposed to be used for commercial.

5.1.3 Entry Sequence

The entry into the site shall be planned to provide a strong entry statement including signage and enhanced landscaping. Landscape areas shall provide appropriate view triangles at the entries onto the main road.

5.1.4 Site Development Standards

a. Setbacks

Minimum setback from any structure to any property line is 15'

b. FAR

The floor area ratio shall not exceed .85

c. Building Height

Maximum building height shall be 40'

d. Lot Standards

The shall be no minimum lot standards

e. Lighting

Lighting shall be of similar design throughout the development and be to City of Vallejo Public Works standards.

5.1.5 Grading Standards

Maximum grades for parking lots shall be 3%, excluding access drives.

5.1.6 Parking Standards

Standard parking stalls shall be a minimum of 9 feet by 18 feet. A 2-foot reduction in length is permitted when the vehicle front overhangs a minimum 6' wide pedestrian walk or landscaped area.

Compact parking stalls shall be a minimum 8 feet by 16 feet. A 2-foot reduction in length is permitted when the vehicle front overhangs a minimum 6' wide pedestrian walk or landscaped area. 35% of the total stalls can be compact.

Parking shall be designed to a minimum of City of Vallejo standards: 4 parking spaces per 1000 square feet of retail, commercial or office.

Landscape of the parking lot shall be designed in such a way as to reduce the impact of the parking pavement. This can be achieved with screen plantings, low walls, berms and planted islands. Shade shall be provided for throughout the parking lot.

Trees shall be planted at 15-gallon size minimum.

A landscape planter will be provided at the ends of all parking rows.

Parking configurations shall provide for safe pedestrian circulation. Pedestrian links to major buildings shall be encouraged.

ADA accessible parking stalls will be provided in accordance with California Building Code.

5.1.7 Access Drives

Access drives shall line up with adjacent roadways and drives. They shall be appropriately marked to minimize traffic hazards.

5.1.8 Loading Areas and Refuse Areas

Loading areas shall try to be screened from view from streets, driveways, adjacent buildings and pedestrian ways. Loading areas shall be screened with plantings or architectural elements. Architectural screening shall be constructed of the same materials as the building it serves. All Loading areas will be designed so that no service vehicles will disrupt traffic flow on or off the site.

No loading or unloading in non-designated areas.

Refuse areas shall be screened from view with a wall. Screen wall materials and colors shall complement the adjacent buildings. See Section 5 for wall materials.

No loading or refuse area shall extend into a setback area.

SECTION 6: LANDSCAPE DEVELOPMENT STANDARDS

This section provides development standards for landscape as part of the Fairview at Northgate Master Plan.

6.1 GENERAL GUIDELINES

The landscape of the Master Plan shall be a unifying element to the overall design of the project. It will help to promote views into the open space, screen elements, reduce auto and pedestrian conflicts and direct pedestrians to their destinations within the project.

6.2 PLANT SELECTION

6.2.1 Residential Plant Palette

TREES:

Malus pumila 'Anna'	Apple
Olea europaea 'Monher'	Fruitless Olive
Prunus armeniaca 'Blenheim'	Apricot
Prunus avium 'Royal Crimson'	Cherry
Prunus salicina 'Santa Rosa'	Plum
Quercus lobata	Valley Oak



Malus pumila 'Anna'
Apple

SHRUBS:

Feijoa sellowiana	Pineapple Guava
Hesperaloe parviflora	Red Yucca
Juncus patens 'Elk Blue'	Gray Rush
Lavendula angustifolia	English Lavender
Lomandra longifolia 'Breeze'	Mat Rush
Malus pumila: espalier	Apple
Punica granatum 'Nana'	Dwarf Pomegranate
Punica granatum 'Wonderful'	Pomegranate
Rosmarinus officinalis	Rosemary
Thymus vulagris	Thyme
Vaccinium 'Misty'	Blueberry Bush
Vitis californica 'Roger's Red'	California Grape
Vitis vinifera 'Ruby Seedless'	Table Grape



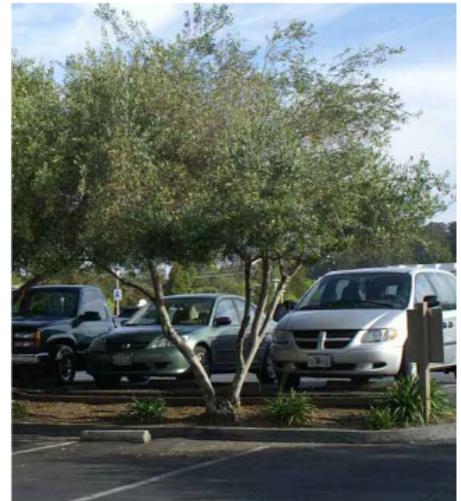
Vitis vinifera 'Ruby Seedless'
Table Grape

6.2.2 Commercial Plant Palette

TREES:

Acer buergerianum
 Celtis sinensis
 Fraxinus angustifolia 'Raywood'
 Ginko biloba (male)
 Olea europaea 'Monher'
 Tilia tomentosa
 Zelkova serrata

Trident Maple
 Chinese Hackberry
 Raywood Ash
 Ginko
 Fruitless Olive
 Silver Linden
 Zelkova



Olea europaea 'Monher'
 Fruitless Olive

SHRUBS:

Agava attenuata
 Chondropetalum elephantinum
 Dietes grandiflora
 Frangula californica 'Mound San Bruno'
 Hesperaloe parviflora
 Juncuc patens 'Elk Blue'
 Lantana montevidensis
 Leymus condensatus
 Lomandra longifolia 'Breeze'
 Punica granatum 'Nana'
 Salvia x 'Bee's Bliss'
 Senecio mandraliscae
 Teucrium fruticans 'Compactum'
 Zauschneria californica

Soft Agave
 Large Cape Rush
 Fortnight Lily
 Mound San Bruno Coffee
 Red Yucca
 Gray Rush
 Lantana
 Giant Wildrye
 Mat Rush
 Dwarf Pomegranate
 Bee's Bliss Sage
 Blue Chalk Sticks
 Bush Germander
 California Fuschia



Dietes grandiflora
 Fortnight Lily

6.2.3 Open Space Plant Palette

TREES:

Aesculus californica
 Cercis occidentalis
 Prunus ilicifolia
 Quercus agrifolia
 Quercus lobata
 Sambucus nigra ssp. caerulea

California Buckeye
 Western Redbud
 Hollyleaf Cherry
 Coast Live Oak
 Valley Oak
 Blue Elderberry



Aesculus californica
 California Buckeye

SHRUBS:

Artemisia douglasiana
 Ceanothus 'Julia Phelps'
 Ceanothus 'Ray Hartman'
 Diplacus aurantiacus
 Epilobium californica 'Bert's Bluff'
 Festuca californica
 Frangula californica 'Mound San Bruno'
 Lupinus arboreus
 Monardella villosa
 Muhlenbergia rigens
 Penstemon centranthifolius
 Salvia x 'Bee's Bliss'
 Salvia spathacea

California Mugwort
 Julia Phelps Ceanothus
 Mountain Lilac
 Sticky Monkey Flower
 Bert's Bluff Fuchsia
 California Fescue
 Mound San Bruno Coffee
 Bush Lupine
 Coyote Mint
 Deer Grass
 Scarlet Bugler
 Bee's Bliss Sage
 Hummingbird Sage



Diplacus aurantiacus
 Sticky Monkey Flower

6.3 EXTERIOR WALLS AND FENCES

Walls and fences provide separation, delineate property lines, and can also provide places to sit. There will be several types of walls and fences that shall be proposed within the development. A list is provided within this document. Attached images are conceptual and will be refined in final design.

6.3.1 Residential Screen Fence

Six foot tall solid wood screen fence. To be located at rear property lines.

**6.3.2 Residential View Fence**

Six foot tall wood frame fence with wire mesh grid panels. To be located at rear property lines facing the Open Space.

**6.3.3 Low Wire Mesh Fence**

Three and a half foot tall wood frame fence with wire mesh grid panels. To be located on Turner Parkway.



6.3.4 Special Screen Fence

Six foot tall unfinished wood fence with horizontal slats and galvanized posts. To be used at rear property lines where paseos intersect and at the ends of the alleys.

**6.3.5 Open Space Split Rail Fence**

2-3 foot tall western red cedar split rail fence, 2 rails

**6.3.6 Commercial Low Walls**

2 foot – 3 foot tall freestanding walls made of materials to match architecture. Walls to be added to the pedestrian entrance into the commercial site.

6.4 SITE FURNITURE

Site furniture such as benches, tables, chairs, barbecues, fire pits, postal boxes, trash receptacles, umbrellas and bicycle racks shall be incorporated into the overall planning of the commercial development. Attached images are conceptual and will be refined in final design.

6.4.1 Benches

Concrete benches with no backs will be located throughout the residential development will be found in the paseos and parks.



6.4.2 Stone Markers

Concrete stone markers to indicate Pedestrian Paths or Vehicular Entrances.



6.4.3 Tables and Chairs

Movable tables and chairs will offer flexibility and comfort in the commercial areas.



6.4.4 Picnic Tables

Casual seating with picnic tables will be incorporated into the residential pocket parks. This will foster community interaction.



6.5 WALKWAYS AND PATHS

Walkways and paths shall connect through the residential development and offer pedestrian access from the residential development to the commercial development. Walkways shall be a minimum of 5 feet. Walkways in front of retail and commercial entrances shall be a minimum of 12 feet. Design elements, columns and other street furniture can encroach on this so long as a clear walkway not less than 8 feet is maintained. Walks should have a variety of colors and or patterns to reinforce the building massing, entry conditions or a special function area such as a park.

6.6 LIGHTING

Lighting shall be provided for walkway areas, parking areas, as landscape accents, for storefront displays and entryways, and for building accents. Lighting fixtures should be designed for their specific purpose and may be wall mounted, pole mounted, light bollards, recessed or suspended as appropriate.

Uniformity of design style is required on the commercial buildings and standard streetlights. Streetlights do not need to match between the residential and commercial areas. Street lights will be designed to City Standards based off of Section 3.1.5 in the 2011 City of Vallejo Standards Specifications and Standard Drawings.

There will be lights on all the houses to help illuminate the north/south paseos and alleys. Bollard lights will be placed on the east/west paseos for illumination. Street lights along Turner Parkway will illuminate the proposed meandering path. The open space and the trail adjacent to it will be unlit to discourage night time activity.



6.7 SIGNAGE

Signage is proposed for the commercial portion of this Master Plan. There will be two types of signs on the project, a pylon sign and a sign affixed to the building face.

Signage is proposed to be attractive and easily viewed. It shall be seen from the freeway and from the surrounding roads.

Refer to Vallejo Municipal Code Section 16.64 for sign requirements.

6.8 POCKET PARKS

Two Pocket Parks are provided for in the residential development. Both are accessible by safe pathways and walkways located throughout the development.

6.8.1 Eastern Residential Play Park

The Eastern pocket park shall be designed to encourage play by children of all ages. Nature inspired play structures will and shade trees will be installed to create play and shade for children and parents alike.



6.8.2 Western Residential Community Park

The Western pocket park shall be designed to allow people to gather. Agri-community theme inspired plants and shade trees will be installed to create space that is fun and activated for all ages.



- 1 Pedestrian connection to linear park
- 2 Bulbout and stamped asphalt at crossing
- 3 Screen fence, typ.
- 4 Landscape buffer adjacent to homes, both sides
- 5 Community garden with raised planter beds
- 6 Picnic table
- 7 Small group lounge seating area
- 8 Seatwalls, typ.
- 9 Focal Point: Sculpture, potted plant, or
- 10 Fire pit community space
- 11 View fence, typ.
- 12 Large group lounge seating
- 13 Large group dining
- 14 Grilling island with bar-height seating
- 15 Special Screen Fence

SECTION 7: ARCHITECTURE DEVELOPMENT STANDARDS

This section provides the development standards for the architecture as part of the Fairview at Northgate Master Plan.

7.1 GENERAL GUIDELINES

7.1.1 Architectural Styles

Architectural Character: Wine Country Agrarian

The architectural character of the residential, commercial, and retail buildings of the Fairview at Northgate Master Plan draws on the project site's proximity to California's wine country and the community's Harvest theme. The guidelines and standards in the following sections are provided to help guide the development and maintenance of future residential, commercial, and retail buildings of Fairview at Northgate. Building elevation and floor plan examples for Residential Single Family Homes and Cluster Homes are provided in sections 7.3 and 7.4 for reference.

7.2 SINGLE FAMILY HOMES AND CLUSTER HOMES

7.2.1 Development Guidelines and Standards

a. Building Massing

- Variety in building massing and form is encouraged to provide diversity and visual interest to the neighborhood street scene. The following recommendations are encouraged when designing the residential homes of Fairview at Northgate:
 - o Articulation of wall planes
 - o Projections and recesses to provide shadow and depth
 - o Simple forms representative of the building's floor plan
 - o Combinations of one or two story forms
- Building wall planes, particularly on the front elevation, should be staggered to create interest along the street scene, to provide a desirable human scale, and to avoid visual monotony.
- Residential design should provide articulation and detail to the rear and side of the dwelling when adjacent to public spaces within the community.

b. Main Entrances/Porches

- Residential entries, whether front or side entry, that face a street or lane shall be articulated as a focal point of the front elevation through the use of elements that reflect a Wine Country Agrarian character. Elements within this character for consideration include:
 - o Covered Porch/Entry way
 - o Trellis
 - o Recessed entry

c. Roofs

- Roof design and treatment should be varied to provide visual interest to the neighborhood roofscape. This can be achieved through varied roof forms and rooflines. The following roof guidelines and standards help promote an engaging roofscape within the Wine Country Agrarian character.
 - o Pitched roof form: Hip, gable, cross-gable, shed. Gambrel and Mansard roof forms are prohibited.
 - o Multiple plate height are encouraged where applicable.
 - o A variety of roof colors and materials are encouraged and may include concrete tiles and shakes.

d. Window Openings

- Windows are important elements to the building design as they provide both elevation articulation and privacy and openness for the inhabitants. The window guidelines and standards below ensure quality building design and balance between public and private interface.
 - o Window types: Single hung and casement windows; windows with horizontal grid may be appropriate.
 - o Window trim elements may be stucco, pre-cast, or wood.
 - Stucco finished trim elements, when used, shall be sand or smooth finish.
 - o Aluminum or vinyl frame windows should be appropriately colored to match or complement the house or trim colors for each color scheme.
 - o Reflective glass is prohibited.
 - o Shape and size of shutters, when used, should be proportionate to the window opening.

e. Garage Doors

- The overall design of the building's front elevation should de-emphasize garage doors facing the street to promote a pedestrian friendly streetscape. Examples of techniques that may be used include:
 - o Garage door recesses into surrounding wall planes.
 - o Roof form/vertical wall plan articulation where garage is located.
 - o Architecture forward design that shows either a covered entry/porch or habitable space located forward of the garage door.

f. Exterior Materials and Colors

- Exterior building materials and colors provide variety and richness to a building's design. To ensure the residential homes of Fairview at Northgate achieve the desired Wine Country Agrarian character style and reflect quality design the following guidelines and standards apply:
 - o All surface treatments or materials should be designed to appear as an integral part of the design, and not merely applied. All materials shall wrap columns, porches, or balconies in their entirety.
 - o Colors and materials changes shall occur at inside corners. Materials applied to any elevation shall turn the outside corner of the building and end at a logical termination point related to rooflines or building massing when they are available.
 - o Any field color used at the base of the building shall continue down to the finish grade.
 - Likewise, where masonry or stone veneer is used at the base of the building, the visible wall surface below the level of the weep screed, shall be painted a color that closely matches the masonry color directly above.
 - o Exterior materials can include, but is not limited to:
 - Stucco
 - Stone Veneer
 - Cementitious Lap Siding
 - Cementitious Board and Batt Siding

g. Architectural Detailing

- Detail elements such as shutters, eave brackets, corbels, exposed rafter ends or cross beams should be used to provide visual interest and richness to elevations.
- Exposed gutters and downspouts should be colored to match or complement the surface to which they are attached.

7.2.2 SINGLE FAMILY HOME TYPICAL EXAMPLE

Front Elevation 1C

7.2.3 CLUSTER HOME TYPICAL EXAMPLE

Front Elevation 1A

7.3 COMMERCIAL STANDARDS

7.3.1 Development Guidelines and Standards

a. Building Massing

Variations in the building form should be used to add interest and break up long wall planes. Suggested techniques include stepping the building height, furring out walls to create offsets in plane, adding reveals to wall surfaces, and insets or other variations in plan. Long facades should be designed with sufficient building articulation and landscaping to break them up into smaller visual elements.

b. Entrances

Provide clearly defined building entries that are in scale with the proposed project, and that relate directly to the street frontage wherever possible.

c. Overhead Design Elements

Awnings, trellises or canopies are encouraged above windows, doors, and entrances to provide shade and architectural relief. Variation in parapet height can add some visual interest

d. Exterior Wall Materials

Building facades should feature high-quality materials and coordinated colors. Most design motifs should utilize multiple materials, color and textures, in a coordinated way. Materials on buildings should be varied in order to create patterns and break up larger masses into smaller forms. Colors should be used to articulate building design as is consistent with the design motif.

e. Architectural Detailing

Articulation such as cornice detail, insets, windows, reveals, furring, score lines, and/or trim should be used to break up the visual massing of building facades. Elements should be chosen that are appropriate to the overall stylistic treatment.

7.3.2 TYPICAL EXAMPLES



SECTION 8: OPEN SPACE

The natural open space in Fairview at Northgate is located between the proposed residential and commercial development. It is approximately 5.7 Acres and will be fenced and posted to prevent trespassing.

8.1 TRAILS

There will be a trail system that is outside of the open space but overlooks and complements it.

8.2 EROSION CONTROL

Erosion control standards shall be placed on all disturbed lands adjacent to the open space. The open space is not to be disturbed. All cut and fill slopes steeper than 5:1 shall be planted with erosion control measures.

8.3 FIRE MANAGEMENT

The open space can be accessed by fire on both the residential side and the commercial side of the project as well as from Turner Parkway.

8.4 WILDLIFE MANAGEMENT

The open space site shall promote and protect wildlife.

8.5 PRESERVATION

The open space shall preserve existing vegetation in its current condition.

SECTION 9: CONCLUSION

Fairview at Northgate will be a comprehensive development as laid out in this Master Plan. It will develop under the overall theme that has been established within this document.



APPENDIX A**COMMERCIAL USES:****PERMITTED USES:**

- a. Regionally-oriented retail uses including but not limited to:
 - Auto Dealership/Sales
 - Car Wash
 - Discount Center
 - Gas Station
 - Factory Store
 - Furniture Outlet
 - Home Improvement Center
 - Promotional Center
 - Warehouse Club

- b. Community-serving retail uses including but not limited to:
 - Appliance Store
 - Art Gallery/Supply Store
 - Auto Parts
 - Bakery
 - Bicycle Shop
 - Book Store
 - Clothing/Apparel/Accessories Store
 - Day Care
 - Drug Store
 - Electronics/Computers
 - Floor Coverings Store
 - Florist/Plant Shop
 - General Merchandise Store
 - Gift Shop
 - Grocery/Food Store
 - Hardware Store
 - Hobby Shop
 - Home Furnishings
 - Home Appliances
 - Jewelry Store
 - Liquor Store
 - Music Store
 - Newspapers and Magazines
 - Paint, Glass and Wallpaper Store
 - Party Supplies
 - Pet Supplies
 - Photographic Supply Store
 - Picture Framing Shop
 - Shoe Store
 - Sporting Goods
 - Stationary and Office Supplies

Specialty Food/Grocery/Supermarket Store
Toy Store
Variety Store

c. Business/professional offices and service establishments including but not limited to:

Administrative Office
Bank, Savings and Loan, Credit Union and Other Financial Institutions
Barber/Beauty Shop/Nail Salon
Copying and Printing
Dry Cleaner (No plant permitted on premises)
Employment Agency
Formal Ware - Rental
In-Patient and Out-Patient Health Facilities (licensed)
Locksmith
Medical Clinic/Office
Photographic Studio
Professional Offices including: Accounting, Architectural, Dental, Engineering, Legal, etc.
Real Estate/Title Office
Shoe Repair
Tailor
Technology Access Center
Tele-Commuting Center
Travel Agency
Watch and Clock Repair

d. Eating, drinking and entertainment establishments including but not limited to:

Bagel Shop/Bakery
Bar/Cocktail Lounge
Cafe
Coffee House
Delicatessen
Fast Food Restaurant with Drive-Through
Ice Cream/Yogurt
Micro-Brewery
Restaurant - Full Service, Sit Down and Take-Out permitted - Outdoor dining permitted
Theater - Indoor (Including Dinner, Live Play, etc.)

CONDITIONAL USES:

Animal Sales and Services
Community Center
Dance Floor
Day Care Center
Hotel/Motel
Lodge Hall
Pet Day Care/Boarding
Video Arcade

TEMPORARY USES:

- Arts and Crafts Fair
- Carnival
- Christmas Tree Sales
- Farmers Market
- Festival/Street Fair
- Parking Lot Sales
- Sidewalk Sales
- Temporary Construction Trailer